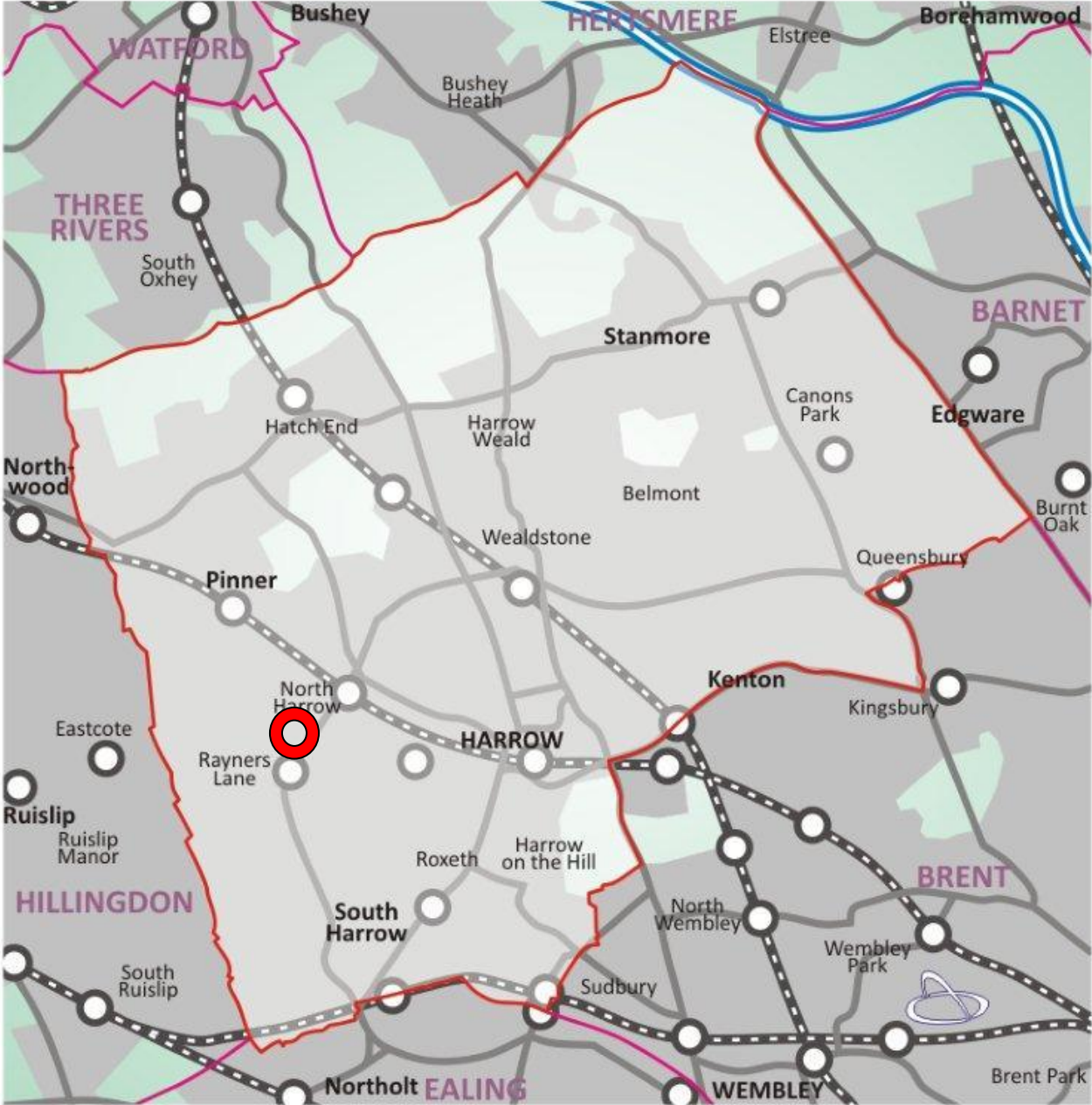


 = application site



2 Park Drive, Rayners Lane, Harrow HA2 7LT	P/0903/21
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2 Park Drive



LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

30th JUNE 2021

APPLICATION NUMBER: P/0903/21
VALID DATE: 4th March 2021
LOCATION: 2 PARK DRIVE
WARD: HEADSTONE NORTH
POSTCODE: HA2 7LT
APPLICANT: MR VYAN GREASY
AGENT: CONCEPT PLANNING
CASE OFFICER: FERGUS FREENEY
EXPIRY DATE: 29th APRIL 2021

PROPOSAL

Subdivision of site and existing house to form 2 x 3 bed dwellings; single and two storey side to rear extension; single storey rear extension; external alterations; pedestrian access; bin and cycle stores.

RECOMMENDATION

The Planning Committee is asked to:

- 1) Agree the reasons for approval as set out in this report, and
- 2) Grant planning permission subject to the Conditions listed in Appendix 1 of this report.

REASON FOR THE RECOMMENDATION

The proposal would contribute towards housing stock within the Borough and the quality of accommodation for the future occupiers of the units would be in accordance with the development plan and policies. The proposal is of an appropriate scale and design, it would have an acceptable impact on the visual amenities of the subject property and surrounding area and would have an acceptable impact on the residential amenities of neighbouring properties. As such, the proposal would accord with the NPPF (2019), Policy D3 of the London Plan (2021), Policy CS1.B of the Harrow Core Strategy, Policy DM1 of the Harrow Development Management Policies Plan, and the Harrow Supplementary Planning Document: Residential Design Guide (2010).

INFORMATION

This application is reported to Planning Committee as the applicant is related to a Council employee and this therefore falls within proviso C(ii) of the scheme of delegation.

Statutory Return Type: 13.Minor Dwellings
Council Interest: None
Net additional Floorspace: 64.3sqm
GLA Community
Infrastructure Levy (CIL)
Contribution (provisional): £60 x 94.5sqm = £5,670
Local CIL requirement: £110 x 94.5sqm = £10,395

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

It is considered that the proposed development would not adversely impact upon community safety issues or conflict with development plan policies in this regard.

1.0 SITE DESCRIPTION

- 1.1 The subject site is located on the western side of Park Drive and comprises a two-storey semi-detached dwellinghouse.
- 1.2 The subject site adjoins No.4 Park Drive to the north, which is part of the semi-detached paring, and No. 2a (Veneto House) which comprises a two-storey building fronting the street and large single storey rear extension. Veneto House is in use as a number of self-contained apartments.
- 1.3 The subject site benefits from a two-storey side extension to the south incorporating double garage and kitchen/living space at ground floor and bedrooms at first floor. It also benefits from a single storey rear extension which appears to match a single storey rear extension at No.4 Park Drive.
- 1.4 The site is within a critical drainage area and is identified within surface water flood zone 3a and 3b.
- 1.5 The site is not a listed building or a locally listed building, nor is it within a conservation area.

2.0 PROPOSAL

- 2.1 The proposal seeks to construct a single and two storey side to rear extension, convert the existing garage into a habitable room, provide a new roof over the existing side extension and to subdivide the site to provide a new two-storey attached dwelling (forming 2 x 3 bedroom dwellinghouses). It is also proposed to replace an existing single storey extension at the existing dwelling with a larger extension and install front and side rooflights.

3.0 RELEVANT PLANNING HISTORY

- 3.1. A summary of the relevant planning application history is set out below:

Ref no.	Description	Status & date of decision
LBH/36186	SINGLE STOREY REAR EXTENSION	Granted 29/07/1988
LBH/9965	DEMOLISH EXISTING SINGLE GARAGE AND ERECTION OF 2-STORIED SIDE EXTENSION TO PROVIDE DOUBLE GARAGE WITH KITCHEN EXTENSION AT REAR AND BEDROOM OVER.	Granted 04/04/1974
HAR/7406/A	ERECT BOUNDARTY WALL	Granted 24/05/1960

4.0 **CONSULTATION**

4.1 A total of 10 consultation letters were sent to neighbouring properties regarding this application.

4.2 The overall public consultation period expired on 8th June 2021 and 7 objections were received which are summarised below.

Amenity

- Loss of light and overshadowing

Officer Comment: Refer to Section 6.5 below.

Character and appearance:

- Out of keeping with character of area (terrace created in area of semi-detached properties).

Officer Comment: Refer to Section 6.3 below.

Overdevelopment

- Too many dwellings in the area

Officer Comment: Refer to Section 6.2 below.

Flooding

- There is flooding on the site.

Officer comment: Refer to Section 6.7 below.

Parking

- Impact on parking on street
- Insufficient on-site parking

Officer comment: Refer to Section 6.6 below

Other Matters

- Note refusal of P/2504/20 at 26 East Village Way

Officer comment: This application was for 4 flats and involved substantial redevelopment to an existing building and the construction of a separate block. It is not comparable to the proposed development for a single dwelling within a building envelope which is visibly similar to the existing situation when viewed from the street. Each application must be considered on its own merits.

4.3 A summary of the consultation responses received along with the Officer comments are set out in the Table below.

Consultee and Summary of Comments

Drainage

We can confirm that we have no objection to the proposed development, **the flood risk assessment submitted seems fine**; however, the following details are still outstanding.

- **Compensatory Flood Storage** – A cross section drawing with FFL, existing and proposed/ lowered ground levels should be clearly marked and submitted for our approval.
- **Mitigation Measures** - More detailed description of building materials, foundations, floor, walls, fittings, services, doors and windows that minimise water entry whilst maintaining structural integrity, materials and construction techniques that facilitate drying and cleaning, in line with CLG 2007 'Improving the Flood Performance of New Buildings' publication should be provided taking into account the depth of flooding.
- **Drainage Details:**
 - The applicant should consult Thames Water developer services **by email:** developer.services@thameswater.co.uk or **by phone:** 0800 009 3921 or on Thames Water website www.developerservices.co.uk regarding capacity of their public sewers for receiving additional discharge from the proposed development. **The Thames Water confirmation letter should be submitted.**
 - Full details of drainage layout including details of the outlet and cross section of proposed storage are required.
 - Full details of any flow restrictions (hydrobrake, pumping station) that are proposed for this scheme need to be submitted together with the relevant graphs.
 - Permeable paving cross section with construction details should be submitted.

Officer Comment: These requirements will be secured by condition of consent or appropriate informative.

Traffic and Highways

This proposal doesn't raise any highways concerns. Details for cycle storage should be conditioned as suggested in the planning statement.

Proposed car parking levels are acceptable; Policy T6.1, Table 10.2 allows 0.5-0.75 spaces per dwelling in a PTAL 4 location as these are family sized units, the single retained space for one of the dwellings is considered appropriate.

This proposal is unlikely to result in a severe or harmful impact for the surrounding highway network. Highways have no objection.

5.0 POLICIES

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:
- 5.2 'If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.'
- 5.3 The Government has issued the National Planning Policy Framework [NPPF 2019] which sets out the Government's planning policies for England and how these should be applied, and is a material consideration in the determination of this application.
- 5.4 In this instance, the Development Plan comprises The London Plan 2021 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP]. The relevant policies are referenced within the report below and a summary within Informative 1

6.0 ASSESSMENT

6.1 The main issues are;

- Principle of the Development
- Character, Appearance and Design
- Residential Amenity
- Traffic, Parking and Servicing
- Development Flood Risk

6.2 Principle of Development

6.2.1 The relevant policies are:

- National Planning Policy Framework (2019)
- The London Plan 2021: H1 and H10
- Harrow Core Strategy 2012:CS1B
- Harrow Development Management Policies Local Plan (2013):DM1, DM24

Relevant Supplementary Documents

- Garden Land Development SPD
- Residential Design Guide (2010)
- The London Plan Housing Supplementary Planning Guidance (2016)

6.2.2 The proposal is to construct a single and two storey side extension, convert the existing garage into a habitable room, a new roof over the existing side extension to match the height of the proposed extension and to subdivide the extended house into 2 x 3 bedroom dwellings. Thus, there would be net increase of one

dwelling. This increase in housing would broadly comply with strategic housing policies at both London and local levels.

- 6.2.3 National Planning Policy Framework (2019), The London Plan (2021), The Harrow Core Strategy (2012) and the adopted Development Management Policies Local Plan (2013) all seek to increase housing supply locally, regionally and nationally, and promote the provision of high quality mix of housing in sustainable and suitable locations.
- 6.2.4 Policy CS1 B of the Harrow Core Strategy (CS) sets out that garden development will be resisted and directs new residential development to the Harrow and Wealdstone Opportunity Area, town centres and to strategic, previously developed sites. This is consistent with the National Planning Policy Framework (the Framework) which at paragraph 70 sets out that plans should consider the case for setting out policies to resist inappropriate development of residential gardens. The property is not within any of the aforementioned areas identified in the Core Strategy, although not all development in garden areas is to be resisted.
- 6.2.5 The Garden Land SPD defines garden land as “any land within the curtilage of a building the principal use of which is residential” and also makes plain that no distinction is made between front, side and rear gardens. It also states that, for the avoidance of doubt, garden land development excludes the development of an existing dwelling, or group of dwelling to provide multiple dwelling on the same building footprint, plus any appropriate enlargements.
- 6.2.6 The SPD recognises at paragraph 3.7 that it would be perverse to ignore the appropriate enlargement potential of dwellings. To address this matter, the SPD allows for any enlargement in footprint that is equivalent to whichever is the larger of either:
- i) the footprint of any permitted extensions (excluding outbuildings) that could be exercised for the dwelling(s); or
 - ii) the footprint of an extension (excluding outbuildings) that would be consistent with Harrow's Residential Design Guide SPD.
- 6.2.7 The proposal seeks to add an extension to the rear of the existing two storey side extension and would therefore appear similar in built form when viewed from the street, albeit with a higher roof ridge and façade alterations. To the rear a 4m deep extension would replace the existing 2.64m deep rear extension. This would be replicated for the proposed new dwelling.
- 6.2.8 Were the site remaining a single dwelling the proposed replacement two storey element and ground level wrap around extension would be consistent with the SPD and would therefore be considered acceptable.
- 6.2.9 As such, the proposed enlargements are considered to be consistent with the criteria set out at paragraph 3.7(ii) of the Garden Land Development SPD.
- 6.2.10 Furthermore, Policies H1 and H10 of the London Plan encourage an increase in housing supply which this development would contribute to.

6.3 Character, Appearance and Design

6.3.1 The relevant policies are:

- National Planning Policy Framework (2019)
- The London Plan 2021: D3
- Harrow Core Strategy 2012:CS1B
- Harrow Development Management Policies Local Plan (2013):DM1

Relevant Supplementary Documents

- Residential Design Guide (2010)
- The London Plan Housing Supplementary Planning Guidance (2016)

Two storey side extension.

- 6.3.2 Paragraph 6.8 of the SPD states that “additional volume [should be] subordinate to, and reflect, the character of the original house, particularly on detached and semi-detached properties. This will be achieved on two storey side extensions, by setting-back the front wall by a minimum of 1 metre and stepping down the roof line. The purpose of this form of extension is to retain the symmetry and rhythm of the original building by reducing the bulk and avoiding a "terracing" effect in the street scene”.
- 6.3.3 Paragraph 6.47 of the SPD states that a ‘*Different, or no, set-back [at first floor level] may be justified where a separation distance of at least 1 metre between the flank wall of the extension and boundary*’.
- 6.3.4 This application seeks to retain the existing two storey extension at the front (with alterations) and add a further two storey side extension and single storey additional extension to the rear. The rear wall of the extension would align with the rear wall of the host dwelling. In essence, when viewed from the street the main differences will be a raised ridge height and façade alterations. However, the design and detailing continues to complement the host building as per the existing extension. Furthermore, as the adjoining property is detached and of a different design and form, and the existing footprint and pattern of development will be maintained it is not considered necessary for a 1m setback to be provided in this instance as there will be no adverse terracing effect resulting from the proposal. Additionally, a minimum 1m gap will be retained between the flank wall and side boundary.
- 6.3.5 As the proposed two storey element will be slightly deeper than existing a crown roof is created. As this will not be overly visible, due it being hidden from view by No.2 Park Drive, in order to ensure a high quality appearance on the streetscene a condition will be imposed requiring that raised ridge roof tiles are provided.
- 6.3.6 As such, in terms of visual appearance, scale, bulk and massing the proposed two storey side addition forming the new house is considered to be acceptable.

Single storey rear extensions

- 6.3.7 The proposed single storey element would replace an existing 2.64m extension at the rear of the existing main dwelling with a 4m deep rear extension. This rear

building would be extended across to the newly constructed dwelling. If the single dwelling was being retained the proposal would, in essence, be a single storey wrap around extension, infilling the area to the rear of the two-storey side extension and No.2A Park Drive.

- 6.3.8 The 4m deep element would abut the shared boundary with No.4 Park Drive which has a similar depth extension. The SPD permits an additional 3m depth beyond existing neighbouring extensions. The proposed extension would project approximately 1.4m beyond the neighbouring extension which is therefore consistent with the SPD guidance.
- 6.3.9 The proposed infill element is contained wholly to the rear of the proposed two storey element and the side of the existing main dwelling. It would be viewed in the context of No.2 Park Drive which has a blank flank wall extending the full length of the subject site's rear garden. As such, there would be no adverse visual impact resulting from the proposed single storey rear extension.

Rooflights

- 6.3.10 Four rooflights are proposed in the rear of the existing main dwelling roof slope. Two rooflights are proposed in the rear of the newly constructed rear roof slope and two more are located within the side of the newly constructed roof slope.

Garage conversion to habitable room

- 6.3.11 The proposed conversion of the garage to a habitable room would result in the garage door being replaced with a window and other minor façade alterations. The proposed design and materials would be consistent with the host building and wider streetscene. As such, there is not considered to be any visual impact to the host building or wider streetscene.

Landscaping

- 6.3.12 The proposed landscaping remains relatively unaltered, with the existing driveway and front garden generally being retained with minor alterations to layout and installation of a pathway. A large rear garden area will be retained for each dwelling. Nonetheless, a condition of consent is imposed requiring details of all hard and soft landscaping be submitted and approved by the Council prior to occupation
- 6.3.13 In summary, subject to the imposition of a conditions requiring materials to match the existing building and landscaping detail, the proposal would be in keeping with the character and appearance of the existing dwelling and the street scene, in compliance with National Planning Policy Framework (2019), Policy D3 of the London Plan (2021), Core Policy CS1 (B) of the Harrow Core Strategy (2012), policy DM 1 of the Harrow Development Management Policies Local Plan (2013) and the adopted Supplementary Planning Document: Residential Design Guide (2010). However, as the original dwellinghouse is to be extended substantially at the side and rear to form the new dwellinghouse, it is necessary to restrict permitted development rights that would otherwise fall within Classes A and B. This is to restrict site coverage in terms of footprint and to prevent any further roof alterations/

extensions given that the height of the dwelling now being proposed and the overall scale of the development. Any further extensions would have an adverse impact upon the overall character of the area. It is not considered necessary to restrict permitted development under Class E as there is sufficient plot area to cover such and no restrictions are imposed under other classes including Class F relating to hard surfacing.

6.4 Residential Amenity

6.4.1 The relevant policies are:

- Harrow Core Strategy 2012:CS1
- Harrow Development Management Policies Local Plan (2013):DM1, DM2, DM22, DM23
- London Plan Policy D6

Relevant Supplementary Documents

- Residential Design Guide (2010)
- Technical Housing Standard – Nationally Described Space Standard (2016)
- Mayor of London Housing Supplementary Planning Guidance (2016)

6.4.2 Policy DM1 of the DMP seeks to ensure that "proposals that would be detrimental to the privacy and amenity of neighbouring occupiers, or that would fail to achieve satisfactory privacy and amenity for future occupiers of the development, will be resisted".

Future Occupiers

6.4.3 Policy D6 of The London Plan (2021) requires new residential development provides, amongst other things, accommodation which is adequate to meet people's needs. In this regard, minimum gross internal areas (GIA) are required for different types of accommodation, and new residential accommodation should have a layout that provides a functional space. Table 3.1 of The London Plan specifies minimum GIAs for residential units and advises that these minimum sizes should be exceeded where possible. The use of these residential unit GIA specifications as minimum is also reiterated in Appendix 1 of the Residential Design Guide SPD.

6.4.4 The London Plan requires that double bedrooms have a minimum area of 11.5sqm and a minimum width of 2.75m. Single bedrooms are to be a minimum area of 7.5sqm and width of 2.15m.

6.4.5 The bedrooms are provided as follows:

	Existing Dwelling (as altered)	Proposed new dwelling
Main bedroom	12.9sqm (width = 3m)	11.7sqm (width = 3m)
Second bedroom	11.8sqm (width = 3.3m)	10.5sqm (width =2.34m)
Third bedroom	8.3sqm (width = 2.77m)	11sqm (width = 3m)

6.4.6 As such, the existing dwelling (as altered) would contain 2 double bedrooms and 1 single bedroom, making it a 3bedroom 5person dwelling. The new dwelling would contain 1 double bedroom and 2 single bedrooms (either due to shortfalls of width or floor area), making this property a 3bedroom 4person dwelling.

6.4.7 Policy D6 of the London Plan sets the following minimum requirements:

	Capacity	London Plan requirement	Proposal
Existing dwelling (as altered)	3b, 5p	93sqm	110.3sqm
Proposed new dwelling	3b, 4p	84sqm	94.5sqm

6.4.8 As such, the proposal complies with the London Plan requirements for minimum floor area. There is sufficient area within each property for storage, including under the stairs, additional storage could also be utilised in the loft spaces.

6.4.9 The layout of each unit is considered acceptable, generally with living spaces and kitchens at ground floor with bedrooms and bathrooms on first floor level. The proposed new dwelling also contains a ground floor bedroom with ensuite at the front of the property. This is considered acceptable and is a common feature where single level dwellings exist, there are not considered to be any adverse impacts resulting from having a bedroom at ground level in this instance.

6.4.10 The London Plan requires 7sqm and 8sqm minimum external outdoor area for the new dwelling and existing dwelling (as altered) respectively. The proposed rear garden areas greatly exceed this minimum requirement.

6.4.11 Outlook from each unit would be to the front and rear, as per existing and the established pattern of development along the street and is acceptable.

6.5 Adjoining Neighbours

6.5.1 The relevant policies are:

- Harrow Core Strategy 2012:CS1
- Harrow Development Management Policies Local Plan (2013):DM1, DM27
- London Plan Policy D3

Relevant Supplementary Documents

- Residential Design Guide (2010)
- The London Plan Housing Supplementary Planning Guidance (2016)

6.5.2 Policy DM1 of the DMP seeks to ensure that "proposals that would be detrimental to the privacy and amenity of neighbouring occupiers, or that would fail to achieve

satisfactory privacy and amenity for future occupiers of the development, will be resisted".

Impact on No.2a Park Drive

- 6.5.3 No.2A Park Drive (Veneto House) comprises a two-storey building fronting the street with a large single storey extension spanning beyond the full length of the shared side boundary to the rear.
- 6.5.4 Only blank flank walls present to the subject site from No.2 Park Drive and the proposal would be set away from these flank walls by a minimum of 1m. As such, there would be no adverse amenity impact on this property in regard to outlook, overlooking, overshadowing or loss of privacy.

Impact on No.4 Park Drive

- 6.5.5 As noted, No.4 Park Drive contains a similar depth rear extension as at the subject property (approximately 2.64sqm). The proposed 4m deep extension would abut the shared boundary with No.4 Park Drive. The SPD permits an additional 3m depth beyond existing neighbouring extensions. The proposed extension would project approximately 1.4m beyond the neighbouring extension which is therefore consistent with the SPD guidance.
- 6.5.6 The proposed extension is approximately 3.12m in height. The SPD generally recommends 3m high extension and although there would be a minor breach of approximately 12cm to this recommendation there are not considered to be any additional adverse amenity impacts beyond those of a fully compliant scheme (or if an additional 3m deep extension beyond that at No.4 was proposed).
- 6.5.7 The proposed two storey element and infill extension has no relationship with No.4 and therefore will not impact upon that adjoining neighbour. As such, there is not considered to be any adverse amenity impact on No.4 in terms of outlook, overshadowing or loss of privacy.
- 6.5.8 In summary, the proposal would have an acceptable impact on neighbouring properties in accordance with National Planning Policy Framework (2019), Policy D3 of the London Plan (2021), Core Policy CS1 (B) of the Harrow Core Strategy (2012), policy DM 1 of the Harrow Development Management Policies Local Plan (2013) and the adopted Supplementary Planning Document: Residential Design Guide (2010).

6.6 Traffic, Parking and Servicing

6.6.1 The relevant policies are:

- National Planning Policy Framework (2019)
- Harrow Core Strategy 2012:CS1
- Harrow Development Management Policies Local Plan (2013): DM42, DM45
- London Plan Policy T6.1

- 6.6.2 Policy T6.1 of the London Plan sets a maximum parking provision of 0.75 spaces per dwelling in outer London areas with a PTAL rating of 4.
- 6.6.3 The proposal will provide 1 on-site parking space for the proposed new dwelling which is consistent with the maximum provision for both dwelling (being 1.5 spaces). It is noted that the current property benefits from a parking permit for on-street parking within the CPZ and this would be retained. As such, only the new dwelling will generate a need for off-street parking, which is provided by the London Plan compliant off-street parking space.
- 6.6.4 Policy T5 of the London Plan requires 2 cycle parking spaces for each dwelling, to be provided in covered and secure storage areas. Whilst cycle parking is not shown on the plans there is sufficient space at the rear of both dwellings for covered and secure cycle parking. As such, a condition of consent will require details of cycle storage be submitted to and approved by the Council prior to occupation.
- 6.6.5 Bin storage is shown within the front garden area of the existing dwelling (as altered). Whilst there is no bin storage shown in relation to the new dwelling there is sufficient space within the rear garden for bin storage to be provided. As such, a condition of consent will be imposed requiring that details of the bin storage, to be located in the rear garden, are submitted and approved by the Council prior to occupation.
- 6.6.6 The development has been reviewed by the Council's Highways officer who has raised no concerns subject to standard conditions of consent.

6.7 Development and Flood Risk

- 6.7.1 The site is identified within surface water flood zone 3a & 3b according to our surface water flood maps and Environment Agency flood maps. The site is at a high risk of flooding. As such a Flood Risk Assessment was submitted and reviewed by the Council's Drainage Team.
- 6.7.2 No concerns have been raised by the Council's drainage team subject to standard conditions of consent, which are imposed.
- 6.7.3. As the site is located within a Critical Drainage Area, sustainable urban drainage [SuDs] is encouraged. An informative is therefore attached to this effect.

6.8. Fire Safety

- 6.8.1 Policy D12 of The London Plan requires all development to meet standards of fire safety. The supporting text 3.12.11 of the policy notes that refurbishment that requires planning permission would be subject to this policy. Therefore, a condition has been attached to ensure the converted property meets this requirement.

7.0 CONCLUSION AND REASONS FOR RECOMMENDING APPROVAL

- 7.1 The proposed scheme would make a modest contribution to housing stock in the borough; and would provide a suitable quality of accommodation for future occupiers without unduly impacting neighbouring residential amenity. The uplift in dwelling would not result in traffic and parking impacts which would be considered significant.
- 7.2 As such, the proposal would accord with the NPPF (2019), Policies D1, D3, D6, T5, T6.1, H1 and H10 of the London Plan (2021), Policy CS1.B of the Harrow Core Strategy, Policy DM1, DM2, DM9, DM22, DM27, DM42 and DM45 of the Harrow Development Management Policies, and the Harrow Supplementary Planning Document: Residential Design Guide (2010).

APPENDIX 1: CONDITIONS AND INFORMATIVES

Conditions

1. Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with the provisions of Section 92 of the Town and Country Planning Act 1990.

2. Approved Plans and Documents

The development hereby permitted shall be carried out in accordance with the following documents and plans: 01; OS1 A; OS2 A; E01; P01 D; 90198-02 V1.1; 90198-02 V1.1; Energy Statement (Dated 12/02/2021); Flood Risk Assessment (Dated March 2021); Planning Statement (Dated March 2021)

REASON: For the avoidance of doubt and in the interests of proper planning.

3. Materials

The materials to be used in the construction of the external surfaces of the extensions hereby permitted shall match those used in the existing building.

REASON: To safeguard the character and appearance of the area in accordance with Core Policy CS1.B of the Harrow Core Strategy (2012) and Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

4. Glazing

No window(s)/door(s), other than those shown on the approved plans shall be installed in the flank elevation(s) of the development hereby permitted without the prior permission in writing of the local planning authority.

REASON: To safeguard the residential amenities of neighbouring residents, in accordance with Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

5. Drainage Details

Prior to commencement of the development, the following shall be submitted and approved:

- a) Full details of compensatory Flood Storage with a cross section drawing with finished floor levels, existing and proposed/ lowered ground levels should be clearly marked and submitted;
- b) Detailed description of building materials, foundations, floor, walls, fittings, services, doors and windows that minimise water entry whilst maintaining

structural integrity, materials and construction techniques that facilitate drying and cleaning, in line with CLG 2007 'Improving the Flood Performance of New Buildings' publication should be provided taking into account the depth of flooding; and

- c) Full details of
 - i) how surface water restriction to 0.8 l/s will be achieved including storage are required.
 - ii) drainage layout including details of the outlet and cross section of proposed storage are required.
 - iii) of any flow restrictions (hydrobrake, pumping station) that are proposed for this scheme need to be submitted together with the relevant graphs.
 - iv) Permeable paving cross section with construction details should be submitted.

The drainage details approved shall be retained and maintained thereafter.

Reason: To ensure that adequate drainage facilities are provided to reduce and mitigate the effects of flood risk following guidance in the National Planning Policy Framework.

6. Crown Roof

Notwithstanding the plans hereby approved, a raised ridge roof tile is to be used around the perimeter of the proposed crown roof and shall thereafter be retained.

Reason: To ensure the character and appearance of the host building and wider streetscene is maintained.

7. Cycle Storage Details and Amended Plans

Notwithstanding the details shown on the approved plans, the development hereby approved shall not be occupied until revised plans showing the provision of two (2) cycle parking spaces for each dwellinghouse (four in total) in secure and sheltered storage has been submitted to and approved in writing by the local planning authority. The details shall include full elevations and external finish. The cycle storage shall be made available prior to the first occupation of the new dwellinghouse and shall be retained thereafter.

REASON: To ensure the satisfactory provision of safe and satisfactory cycle storage facilities for all the users of the site and in the interests of highway safety and sustainable transport.

8. Landscaping Plan

Notwithstanding the details shown on the approved plans, the development hereby approved shall not be occupied until revised plans showing the following have been submitted to and approved in writing by the local planning authority:

- (i) Landscape plan with details for both front and back garden, including hard and soft landscape details and planting plans (at a scale not less than 1:100), written specification of planting and cultivation works to be undertaken and schedules of plants, noting species, plant sizes, plant container sizes (all at time of planting) and proposed numbers / densities and a landscape implementation programme;
- (ii) Hard landscape material details;
- (iii) Details of all hard boundary treatments to front and rear; and
- (iv) Bin storage details.

The development shall be carried out in accordance with the details as so agreed and retailed thereafter.

REASON: To ensure that the development makes provision for hard and soft landscaping which contributes to a high standard of design, layout and amenity and to make appropriate provision for the protection, enhancement, creation and management of biodiversity

9. Landscaping Maintenance

All hard landscaping shall be carried out prior to the occupation of any part of the development or in accordance with a programme first agreed in writing by the local planning authority. All soft landscaping works including planting, seeding or turfing comprised in the approved scheme of landscaping shall be carried out no later than the first planting and seeding season following the final occupation of the building, or the completion of the development, whichever is the sooner. Any existing or new trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, or become seriously damaged, diseased or defective, shall be replaced in the next planting season, with others of a similar size and species, unless the local authority agrees any variation in writing.

REASON: To ensure that the development makes provision for hard and soft landscaping which contributes to a high standard of design, layout and amenity and to make appropriate provision for the protection, enhancement, creation and management of biodiversity.

10. Permeable Paving

Before the hard surfacing hereby permitted is brought into use the surfacing shall EITHER be constructed from porous materials, for example, gravel, permeable block paving or porous asphalt, OR provision shall be made to direct run-off water from the hard surfacing to a permeable or porous area or surface within the curtilage of the site. Please note: guidance on permeable paving has now been published by the Environment Agency on <http://www.communities.gov.uk/publications/planningandbuilding/pavingfrontgardens>

REASON: To ensure that there would be adequate infrastructure in place for the disposal of surface water arising from the development, and to ensure that the

development would be resistant and resilient to surface water flooding

11. Permitted Development Restrictions

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order with or without modification), no development in relation to the existing and proposed dwellinghouses which would otherwise fall within Classes A and B in Part 1 of Schedule 2 to that Order shall be carried out without the prior written permission of the local planning authority.

REASON: To safeguard the character of the area by managing the amount of site coverage and size of dwelling in relation to the size of the plot and availability of amenity space, biodiversity and to safeguard the amenity of neighbouring residents.

12. Refuse Storage

The refuse and waste bins shall be stored at all times, other than on collection days, within the designated refuse storage areas as shown on the approved plans.

REASON: To enhance the appearance of the development and safeguard the character and appearance of the area.

13. Fire Safety

The development herein approved shall not progress beyond damp-proof course level until a Fire Safety Statement has been submitted to and approved in writing by the Local Planning Authority, this statement shall include details of how the development will function in terms of the following:

- 1) identify suitably positioned unobstructed outside space: a) for fire appliances to be positioned on b) appropriate for use as an evacuation assembly point;
- 2) is designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures;
- 3) is constructed in an appropriate way to minimise the risk of fire spread;
- 4) provide suitable and convenient means of escape, and associated evacuation strategy for all building users;
- 5) develop a robust management strategy for evacuation which is to be periodically updated and published (details of how often this management strategy is to be reviewed and published to be included), and which all building users can have confidence in; and
- 6) provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.

The development shall be operated in accordance with the approved details in perpetuity.

REASON: To ensure that the fire safety of the proposed building is managed in a satisfactory manner and that the development contributes to fire safety in line with Policy D12A of the London Plan (2021).

INFORMATIVES:

1. Policies

The following policies are relevant to this decision:

The National Planning Policy Framework (2019)

London Plan 2021:

D3 – Optimising site capacity through the design-led approach

D6 – Housing Quality and Standards

H1 – Increasing Housing Supply

H10 – Housing size mix

T5 – Cycling

T6 – Car Parking

T6.1 – Residential Parking

The Harrow Core Strategy 2012:

CS1 – Overarching Policy Objectives

Harrow Development Management Policies Local Plan 2013:

DM1, DM2, DM9, DM22, DM23, DM27, DM42 and DM45

Supplementary Planning Documents:

Garden Land Development SPD

Residential Design Guide (2010)

The London Plan Housing Supplementary Planning Guidance (2016)

2. Considerate Contractor Code of Practice

The applicant's attention is drawn to the requirements in the Considerate Contractor Code of Practice. In the interests of minimising any adverse effects arising from building operations, the limitations on hours of working are as follows: 0800-1800 hours Monday - Friday (not including Bank Holidays) 0800-1300 hours Saturday

3. Party Wall Act:

The Party Wall etc. Act 1996 requires a building owner to notify and obtain formal agreement from adjoining owner(s) where the building owner intends to carry out building work which involves:

1. work on an existing wall shared with another property;
 2. building on the boundary with a neighbouring property;
 3. excavating near a neighbouring building,
- and that work falls within the scope of the Act.

Procedures under this Act are quite separate from the need for planning permission or building regulations approval.

"The Party Wall etc. Act 1996: explanatory booklet" is available free of charge from:

Communities and Local Government Publications, PO Box 236, Wetherby, LS23 7NB

Please quote Product code: 02 BR 00862 when ordering.

Also available for download from the Portal website:

<https://www.gov.uk/party-wall-etc-act-1996-guidance>

4. Liability For Damage to Highway

The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicants expense. Failure to report any damage could result in a charge being levied against the property.

5. Grant without Pre-App Advice

Statement under Article 35(2) of The Town and Country Planning (Development Management Procedures) (England) Order 2015

This decision has been taken in accordance with paragraphs 39-42 of The National Planning Policy Framework. Harrow Council has a pre-application advice service and actively encourages applicants to use this service. Please note this for future reference prior to submitting any future planning applications.

6. Surface and Foul Water Connections

The applicant is advised that the Drainage Authority in Harrow recommends the submission of a drainage plan, for their approval, indicating all surface and foul water connections and their outfall details. Please also note that separate systems are used in Harrow for surface water and foul water discharge. Please email infrastructure@harrow.gov.uk with your plans.

7. Sustainable Drainage Systems

The applicant is advised that surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SUDS). SUDS are an approach to managing surface water run-off which seeks to mimic natural drainage systems and retain water on or near the site as opposed to traditional drainage approaches which involve piping water off site as quickly as possible.

SUDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, ponds and wetlands. SUDS offer significant advantages over conventional piped drainage systems in reducing flood risk by attenuating the rate and quantity of surface water run-off from a

site, promoting groundwater recharge, and improving water quality and amenity. Where the intention is to use soak ways they should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365.

Support for the SUDS approach to managing surface water run-off is set out in the National Planning Policy Framework (NPPF) and its accompanying technical guidance, as well as the London Plan. Specifically, the NPPF (2019) gives priority to the use of sustainable drainage systems in the management of residual flood risk and the technical guidance confirms that the use of such systems is a policy aim in all flood zones. Policy 5.13 of the London Plan (2016) requires development to utilise sustainable drainage systems unless there are practical reasons for not doing so. Sustainable drainage systems cover the whole range of sustainable approaches to surface drainage management. They are designed to control surface water run-off close to where it falls and mimic natural drainage as closely as possible. Therefore, almost any development should be able to include a sustainable drainage scheme based on these principles.

The applicant can contact Harrow Drainage Section for further information

8. Compliance with Planning Conditions

IMPORTANT: Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences - You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority. Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.- Beginning development in breach of a planning condition will invalidate your planning permission. - If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

9. Street Numbering

Harrow Council is responsible for the naming and numbering of new or existing streets and buildings within the borough boundaries. The council carries out these functions under the London Government Act 1963 and the London Building Acts (Amendment) Act 1939. All new developments, sub division of existing properties or changes to street names or numbers will require an application for official Street Naming and Numbering (SNN). If you do not have your development officially named/numbered, then then it will not be officially registered and new owners etc. will have difficulty registering with utility companies etc. You can apply for SNN by contacting technicalservices@harrow.gov.uk or on the following link. http://www.harrow.gov.uk/info/100011/transport_and_streets/1579/street_naming_and_numbering

10. Mayoral CIL

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is payable upon the commencement of development. This charge is levied under s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL The Provisional Mayoral CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £60 x 94.5sqm is £5,670 The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing). You are advised to visit the planningportal website where you can download the appropriate document templates. Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0. https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf If you have a Commencement Date please also complete CIL Form 6: https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf The above forms should be emailed to HarrowCIL@Harrow.gov.uk Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

11. Harrow CIL

Harrow has a Community Infrastructure Levy which applies Borough wide for certain developments of over 100sqm gross internal floor space. Harrow's Charges are: Residential (Use Class C3) - £110 per sqm; Hotels (Use Class C1), Residential Institutions except Hospitals, (Use Class C2), Student Accommodation, Hostels and HMOs (Sui generis) - £55 per sqm; Retail (Use Class A1), Financial & Professional Services (Use Class A2), Restaurants and Cafes (Use Class A3) Drinking Establishments (Use Class A4) Hot Food Takeaways (Use Class A5) - £100 per sqm All other uses - Nil.

The Provisional Harrow CIL liability for the application, based on the Harrow CIL levy rate for Harrow of £110 x 94.5sqm is £10,395 This amount includes indexation which is 326/224. The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing). The CIL Liability is payable upon the commencement of development. You are advised to visit the planningportal website where you can download the relevant CIL Forms. Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0. https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf If you have a Commencement Date please also complete CIL Form 6: https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges

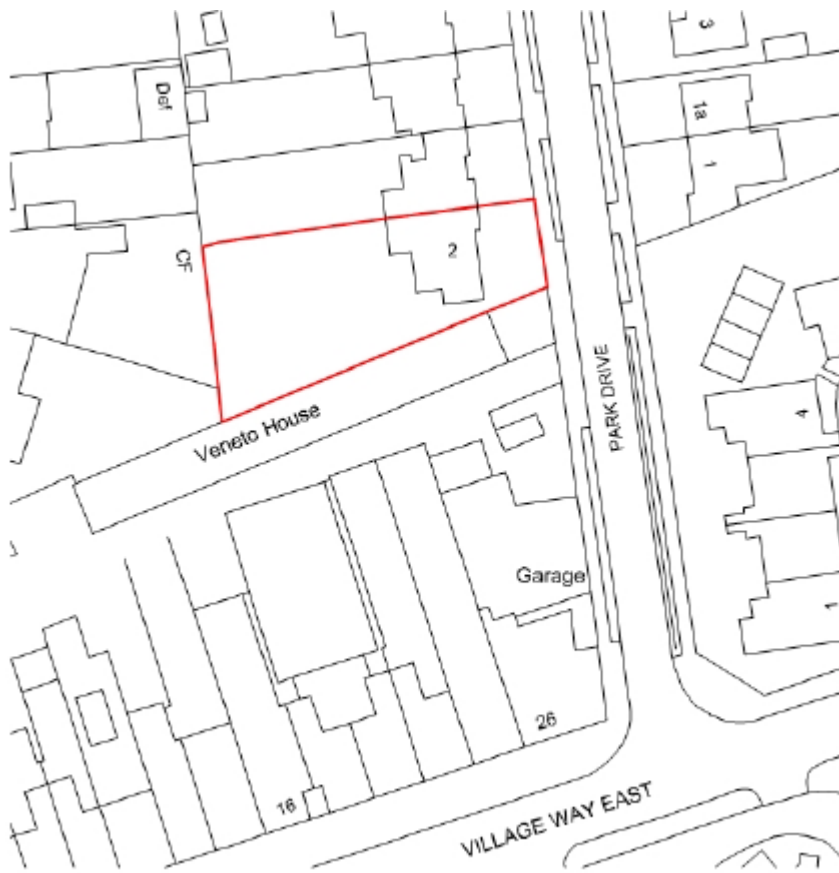
12. Thames Water

The applicant can contact Thames Water developer services by email: developer.services@thameswater.co.uk or by phone: 0800 009 3921 or on Thames Water website www.developerservices.co.uk for drainage connections consent.

Checked

Interim Chief Planning Officer	
Interim Corporate Director	

APPENDIX 2: SITE PLAN



APPENDIX 3: SITE PHOTOS

Front:



Rear:



APPENDIX 4: PLANS AND ELEVATIONS

Existing Front and Side Elevations



FRONT ELEVATION



SIDE ELEVATION

Proposed front and side elevation



FRONT ELEVATION

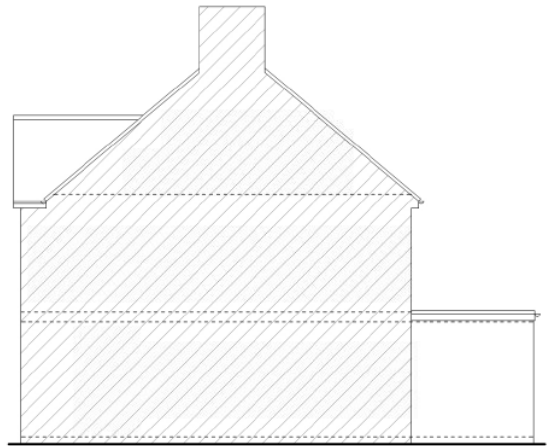


SIDE ELEVATION

Existing rear and side (adjoined elevation)

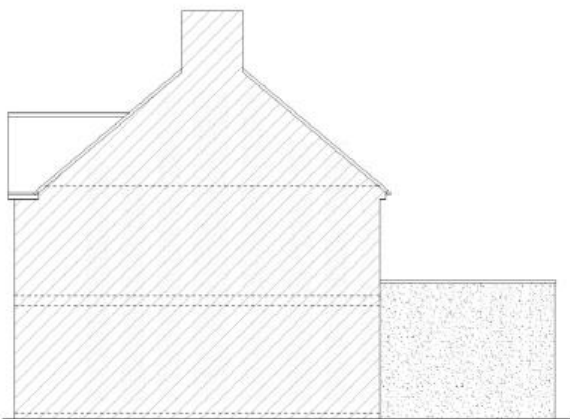


REAR ELEVATION



SIDE ELEVATION

Proposed side elevations

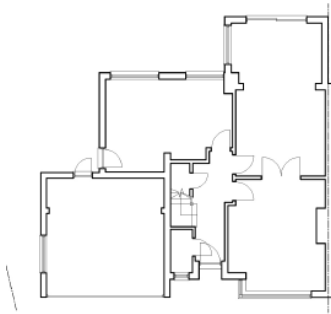


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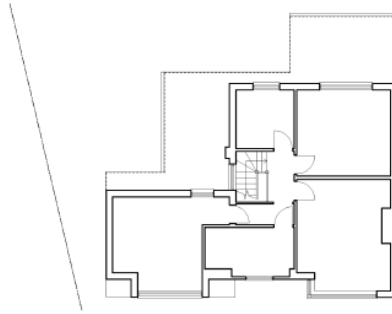


SIDE ELEVATION

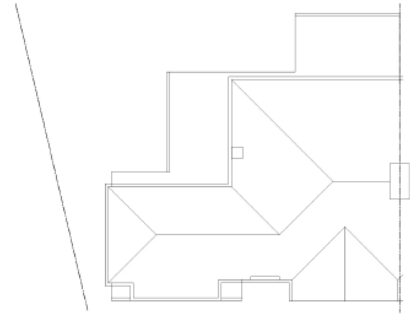
Existing Plans



GROUND FLOOR PLAN



FIRST FLOOR PLAN

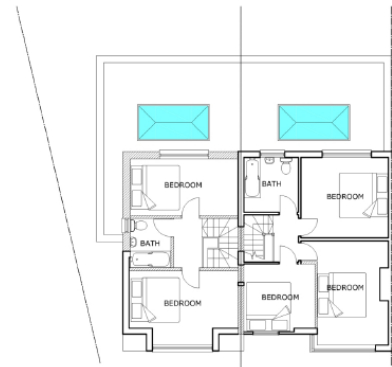


ROOF PLAN

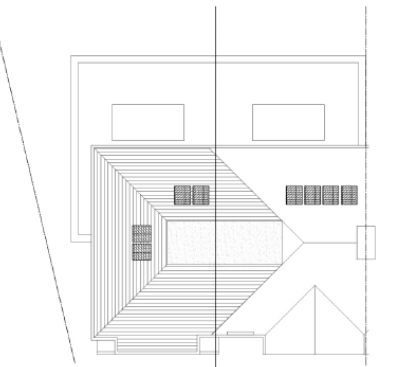
Proposed Plans



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN